

# Village of Almont

## Park Pavilion Building and Site Improvements

427 Spring Street, Almont, Michigan 48003

**PARTNERS**



Owner:

**Village of Almont**

817 N. Main Street  
Almont, MI 48021  
(Phone) 810-798-8528  
(Fax) 810-798-3397

Architect:

**PARTNERS in Architecture, PLC**

65 Market Street  
Mount Clemens, MI 48043  
(Phone) 586-469-3600  
(Fax) 586-469-3607

### List of Drawings

Sheet Number	Sheet Title
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A2-01	Architectural Site Plan
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A4-01	Exterior Elevations - Demolition and New Work
Mechanical / Electrical	
ME3-01	Mech / Electrical - Demo & New Work Floor Plans

**PARTNERS**



**PARTNERS in Architecture, PLC**

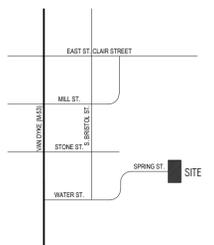
65 MARKET STREET  
MOUNT CLEMENS, MI 48043  
P 586.469.3600  
F 586.469.3607

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**LOCATION MAP**



**OWNER**

**Village of Almont**  
817 N. Main Street  
Almont, MI 48003

**PROJECT NAME**

**Village of Almont**  
**Park Pavilion Building and**  
**Site Improvements**

427 Spring Street  
Almont, MI 48003

**PROJECT NO.**

**15-151**

**ISSUE DATE**

Owner Review 09/16/2015  
Bidding-Construction 01/06/2016

**PROFESSIONAL SEAL**





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 65 MARKET STREET  
 MOUNT CLEMENS, MI 48043  
 P 586.469.3600  
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KEY PLAN

OWNER

Village of Almont  
 817 N. Main Street  
 Almont, MI 48003

PROJECT NAME

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 Park Pavilion Building  
 and Site Improvements

427 Spring Street  
 Almont, MI 48003

PROJECT NO.

**15-151**

ISSUES / REVISIONS

Owner Review 09/16/2015  
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DRAWN BY

JTS

CHECKED BY

DWG

APPROVED BY

DWG

SHEET NAME

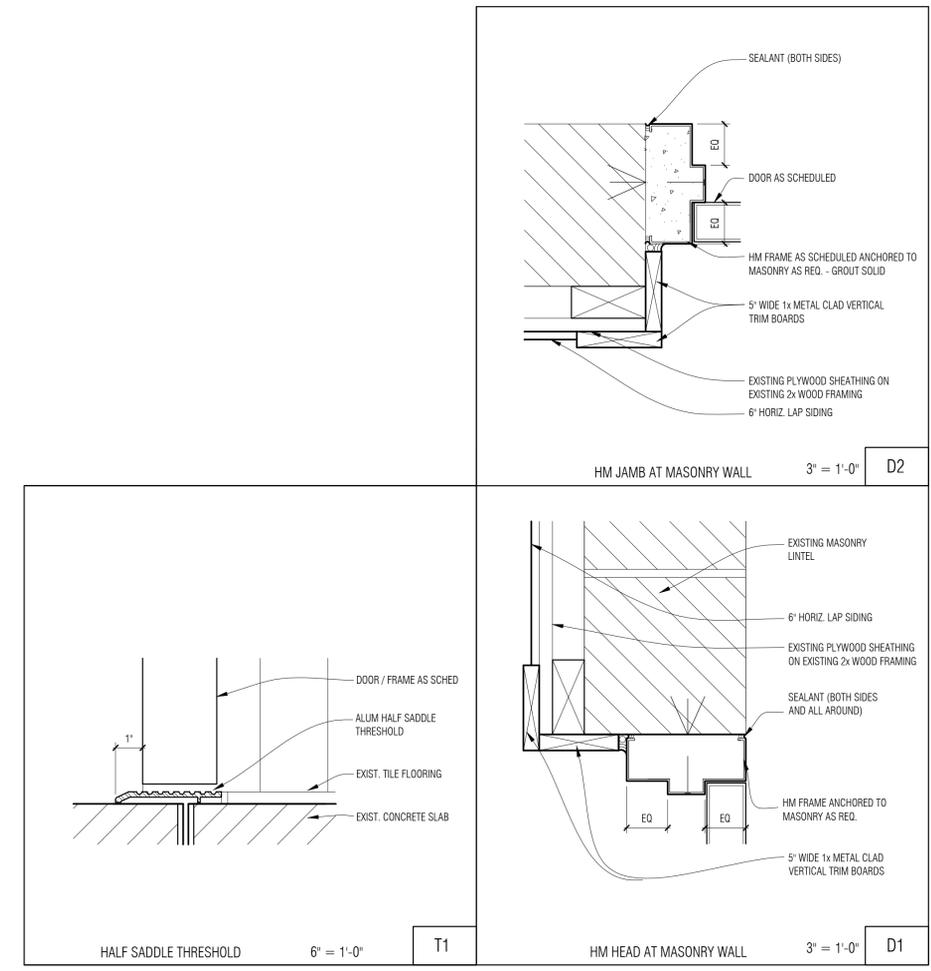
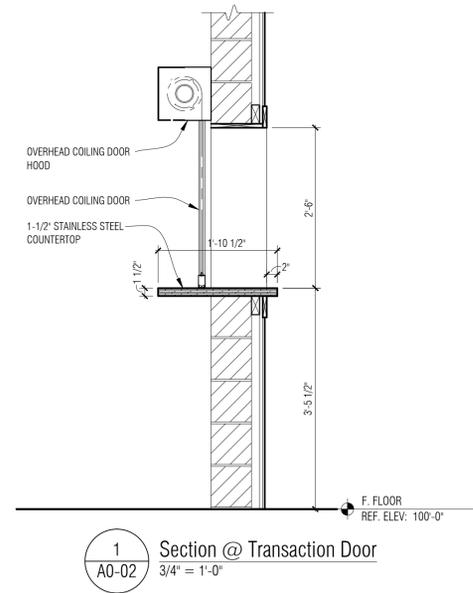
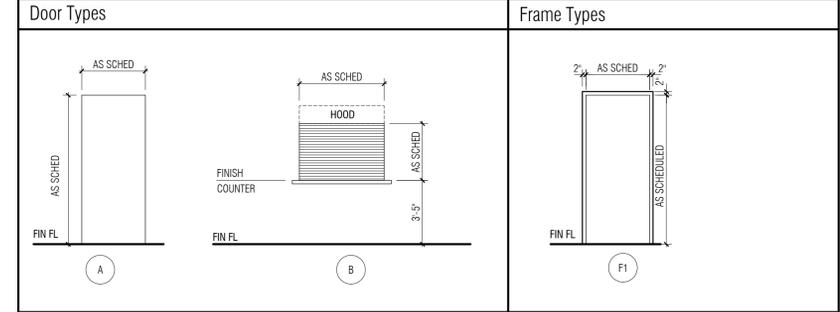
**DOOR SCHEDULE,  
 TYPES, FRAMES  
 & OPENING  
 DETAILS**

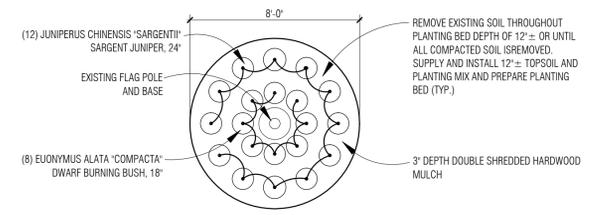
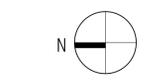
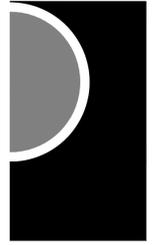
SHEET NO.

**A0-02**

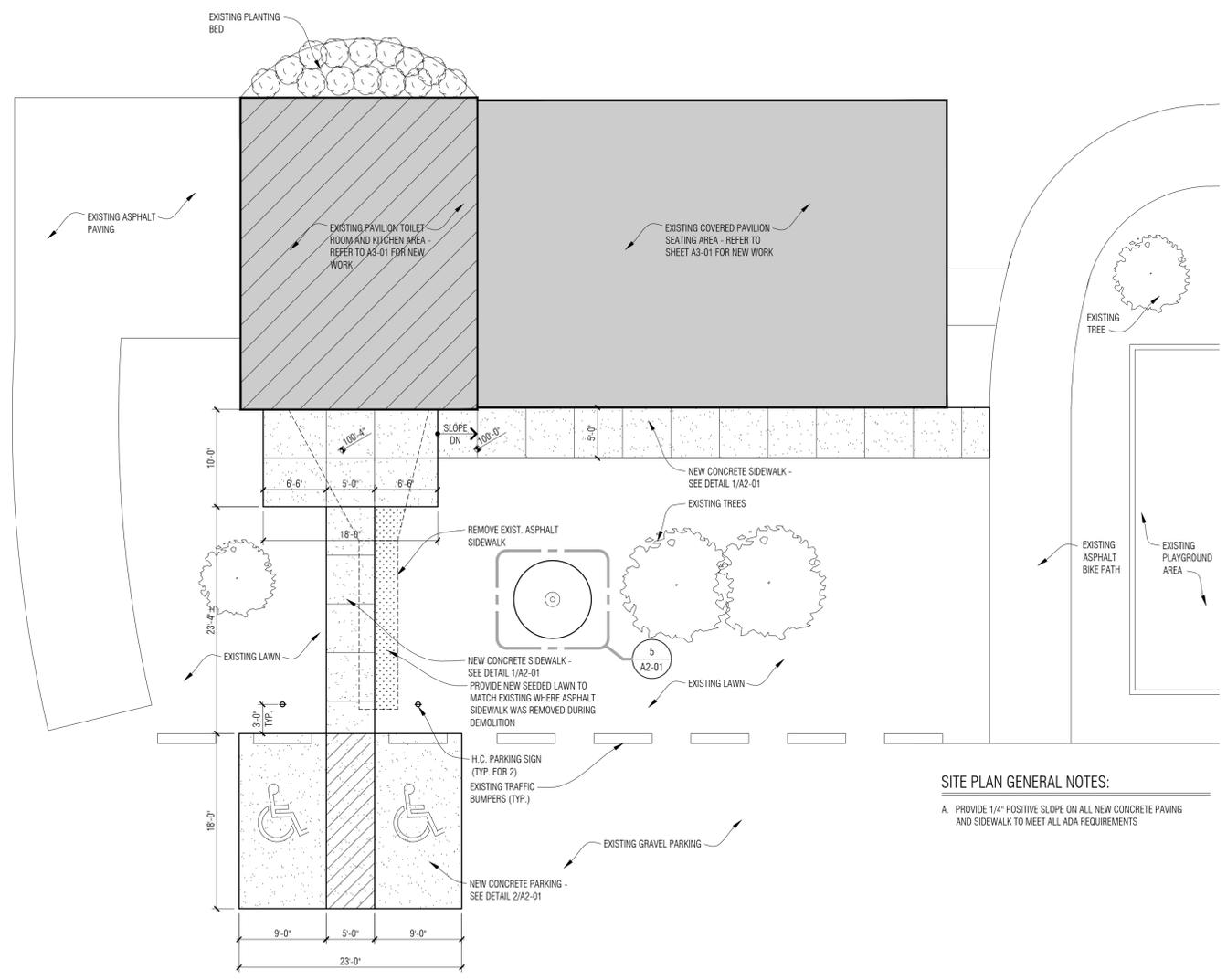
Door/Opening Schedule													
DOOR NO.	DOOR/OPENING SIZE (W x H)	DOOR			FRAME			DETAILS			HARDWARE SET #	LABEL (MIN)	DOOR/ OPENING KEY NOTES
		TYPE	MAT.	FINISH	TYPE	MAT.	FINISH	HEAD	JAMB	THRES / SILL			
100	3'-6" x 6'-8"	A	FRP	FRP-1	F1	HM	PNT	D1	D2	--	1		
101	3'-0" x 6'-8"	A	FRP	FRP-1	F1	HM	PNT	D1	D2	--	2		
102	3'-6" x 6'-8"	A	FRP	FRP-1	F1	HM	PNT	D1	D2	--	1		
103A	3'-0" x 6'-8"	A	FRP	FRP-1	F1	HM	PNT	D1	D2	T1	2		
103B	3'-8" x 2'-8"	B	STEEL	--	--	STEEL	--	--	--	--	--		

**Door/ Openings General Notes:**  
 A. FIELD VERIFY ALL OPENINGS PRIOR TO DOOR/FRAME FABRICATION  
 B. REFER TO DRAWING A0-02 FOR TYPICAL HEAD/JAMB/SILL DETAIL-REFER TO BALANCE OF DRAWINGS FOR ADDITIONAL DETAILS.  
 C. ALL FRAMES TO BE 5/8" DEPTH UNLESS OTHERWISE NOTED.

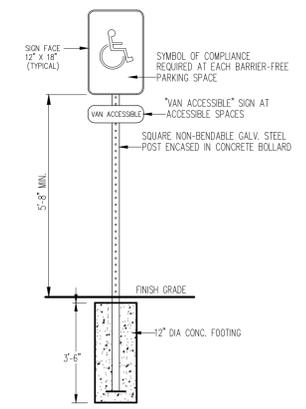




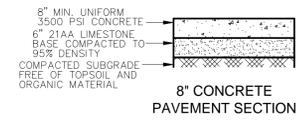
**5**  
 Landscape Plan  
 1/4" = 1'-0"



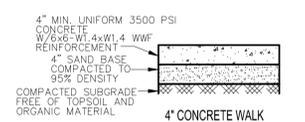
**1**  
 Architectural Site Plan  
 1/8" = 1'-0"



**4**  
 Parking Sign  
 N.T.S.

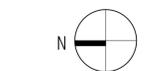


**3**  
 Concrete Parking Detail  
 N.T.S.



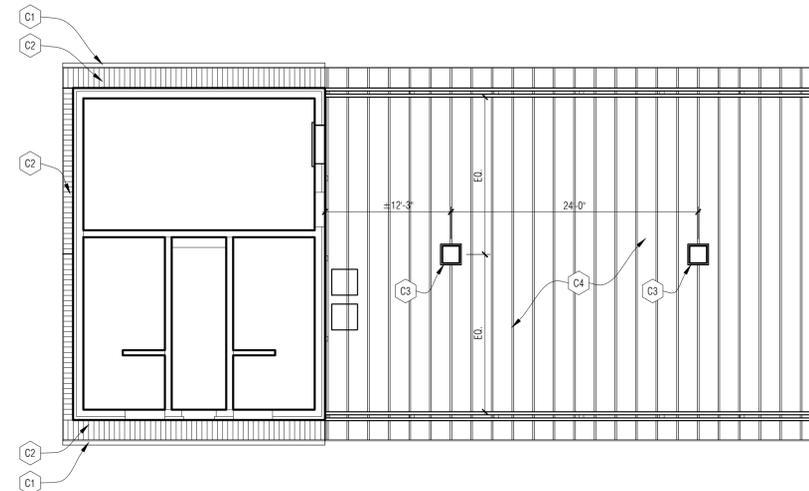
**2**  
 Sidewalk Detail  
 N.T.S.

**SITE PLAN GENERAL NOTES:**  
 A. PROVIDE 1/4" POSITIVE SLOPE ON ALL NEW CONCRETE PAVING AND SIDEWALK TO MEET ALL ADA REQUIREMENTS



**REFLECTED CEILING PLAN - KEY NOTES**

- C1 NEW PRE-FINISHED GUTTER SYSTEM AND DOWNSPOUTS
- C2 NEW PERFORATED VINYL SOFFIT
- C3 NEW LIGHT FIXTURE - SEE ELECTRICAL
- C4 PAINT EXISTING WOOD TRUSSES AND UNDERSIDE OF EXPOSED PLYWOOD SHEATHING



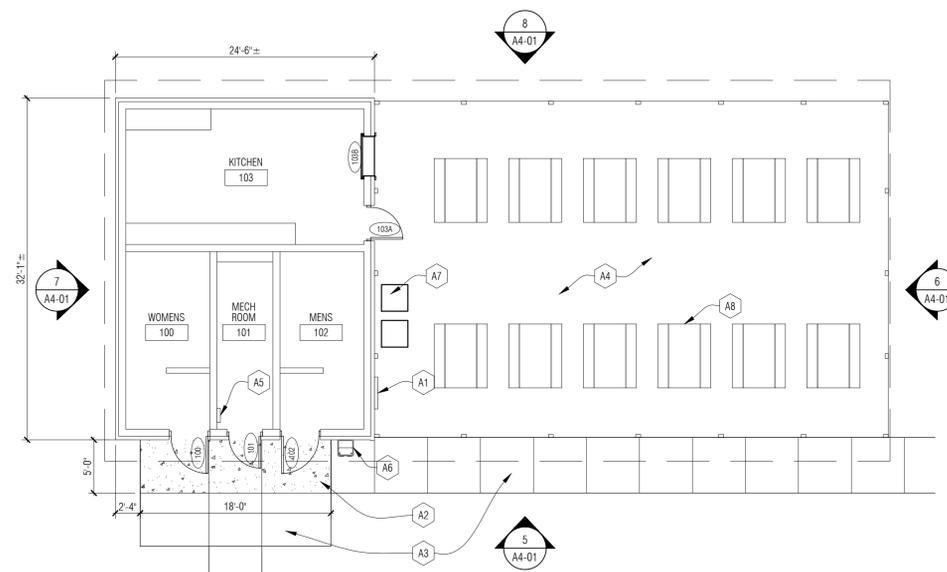
**3 Reflected Ceiling Plan**  
 A3-01  
 1/8" = 1'-0"

**FLOOR PLAN - GENERAL NOTES:**

- A. DO NOT SCALE DRAWINGS. USE DIMENSIONS PROVIDED. IF A CONFLICT IS ENCOUNTERED OR A REQUIRED DIMENSION IS NOT PROVIDED, REQUEST A CLARIFICATION FROM THE ARCHITECT.
- B. REFER TO DRAWINGS FOR ABBREVIATIONS AND OTHER SYMBOL DEFINITIONS.
- C. REFER TO MECHANICAL / ELECTRICAL DRAWINGS FOR INSTALLATION OF NEW EQUIPMENT, WIRING, ETC. AT EXISTING WALLS. ALL ITEMS ARE TO BE INSTALLED WITHIN EXISTING WALLS - REMOVE AND REINSTALL MASONRY (TOOTH-IN) AT ALL LOCATIONS.
- D. REFER TO SECTIONS DETAILS FOR TYP. EXTERIOR FOOTING DETAIL, ALSO REFER TO STRUCTURAL.
- E. REFER TO MECHANICAL / ELECTRICAL DRAWINGS FOR REMOVAL OF EXISTING EQUIPMENT WITHIN EXISTING CONSTRUCTION.
- F. FIELD VERIFY ALL EXISTING OPENINGS TO RECEIVE NEW WORK PRIOR TO FABRICATION OF ANY FRAME TYPES - NOTIFY ARCHITECT OF ANY DISCREPANCIES.

**NEW WORK FLOOR PLAN - KEY NOTES:**

- A1 INSTALL EXISTING ENCLOSED BULLETIN BOARD.
- A2 SUPPORTED CONCRETE SLAB.
- A3 CONCRETE SIDEWALK - REFER TO DRAWING A2-01.
- A4 POWER WASH AND CLEAN EXISTING CONCRETE SLAB.
- A5 EXISTING ELECTRICAL PANEL.
- A6 DRINKING FOUNTAIN - SEE MECHANICAL.
- A7 RECYCLE BINS (TYP. FOR 2) BY OWNER
- A8 PICNIC TABLES (TYP. FOR 12) BY OWNER



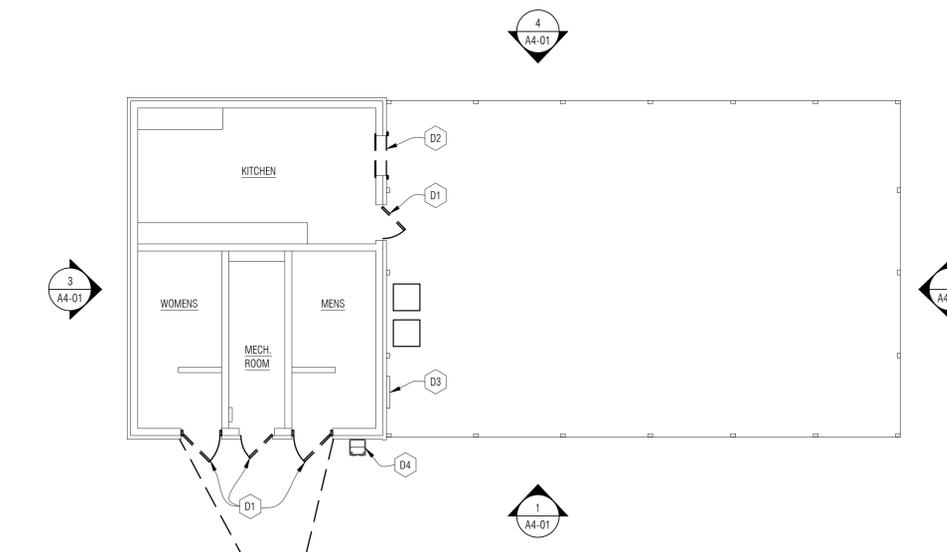
**2 Floor Plan - New Work**  
 A3-01  
 1/8" = 1'-0"

**DEMOLITION FLOOR PLAN - GENERAL NOTES:**

- A. ALL DEMOLITION DRAWINGS AND DEMOLITION DETAILS ARE PROVIDED TO SHOW THE GENERAL SCOPE OF THE DEMOLITION WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL DEMOLITION WORK NECESSARY TO ACCOMPLISH NEW WORK. THE DEMOLITION DRAWINGS AND DETAILS MAY NOTE TYPICAL ITEMS IN SOME AREAS, WHICH APPLY IN OTHER AREAS (AND ARE DESIGNATED WITH DASHED, HIDDEN OR STRUCK THRU LINES). COORDINATE ALL DEMOLITION WORK WITH ALL ARCHITECTURAL, CIVIL, STRUCT., MECH. AND ELEC. DRAWINGS. CONTRACTOR RESPONSIBLE TO REFERENCE ALL DRAWINGS/ SPECIFICATIONS TO CONFIRM EXTENT OF DEMOLITION WORK.
- B. ALL REMOVED ITEMS, WALLS, FLOORS CEILING, OPENINGS, ETC ARE TO BE PATCHED/REPAIRED AND PREPPED TO RECEIVE NEW WORK AND/OR FINISHES.
- C. ALL CONSTRUCTION AND DEMOLITION MEANS, METHODS AND SAFETY PRECAUTIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- D. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING AND UNDERSTANDING EXISTING CONDITIONS PRIOR TO BIDDING.
- E. CONTRACTOR SHALL PROTECT EXISTING BUILDING ELEMENTS AND SITE FROM DAMAGE CAUSED BY CONSTRUCTION OR CONSTRUCTION TRADES. CONTRACTOR SHALL REPAIR ALL DAMAGED AREAS (IDENTIFIED BY OWNER, ARCHITECT, OR CONSTRUCTION MANAGER) AT NO ADDITIONAL COST.
- F. DISPOSE OF ALL DEMOLITION MATERIALS LEGALLY OFF-SITE, U.O.N.
- G. CONTRACTOR IS TO DEMO AND PREPARE EXISTING WALL AND ROOF CONSTRUCTION AS REQUIRED FOR INSTALLATION OF NEW MECHANICAL AND ELECTRICAL WORK WITHIN EXISTING WALL.

**DEMOLITION FLOOR PLAN - KEY NOTES:**

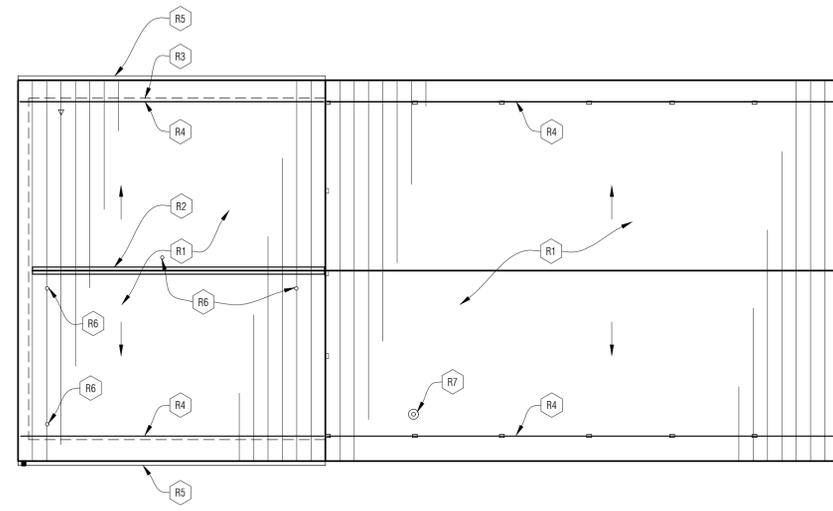
- D1 REMOVE HM DOOR, FRAME, AND ALL ASSOCIATED COMPONENTS.
- D2 REMOVE PLYWOOD SERVING WINDOW, WOOD SILL AND ALL ASSOCIATED COMPONENTS.
- D3 REMOVE AND SALVAGE ENCLOSED BULLETIN BOARD. COORDINATE WITH NEW WORK FOR LOCATION.
- D4 REMOVE EXISTING DRINKING FOUNTAIN - COORDINATE WITH MECHANICAL.



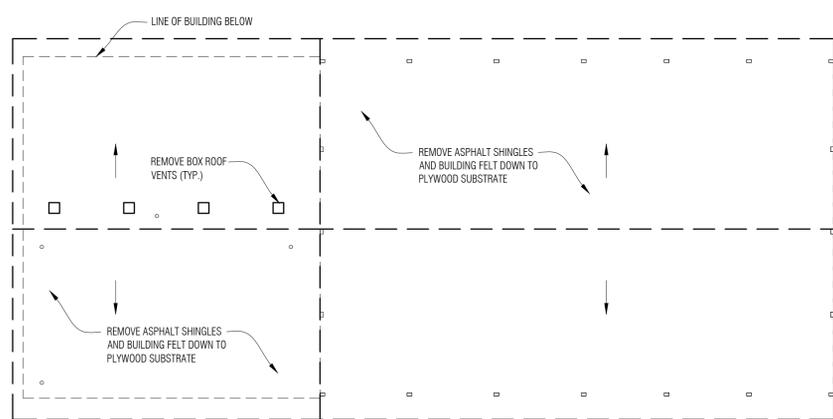
**1 Floor Plan - Demolition**  
 A3-01  
 1/8" = 1'-0"

**NEW WORK ROOF PLAN - KEY NOTES:**

- R1 STANDING SEAM ROOFING SYSTEM.
- R2 RIDGE VENT.
- R3 LINE OF BUILDING BELOW.
- R4 CONTINUOUS SNOW GUARD - MATCH ROOF COLOR.
- R5 PRE-FINISHED GUTTER SYSTEM AND DOWNSPOUTS
- R6 EXISTING VENT - PAINT TO MATCH ROOF
- R7 ROOF MOUNTED FLAG POLE LIGHT FIXTURE - COORDINATE WITH ELECTRICAL



**5 Roof Plan - New Work**  
 A3-01  
 1/8" = 1'-0"



**4 Roof Plan - Demolition**  
 A3-01  
 1/8" = 1'-0"



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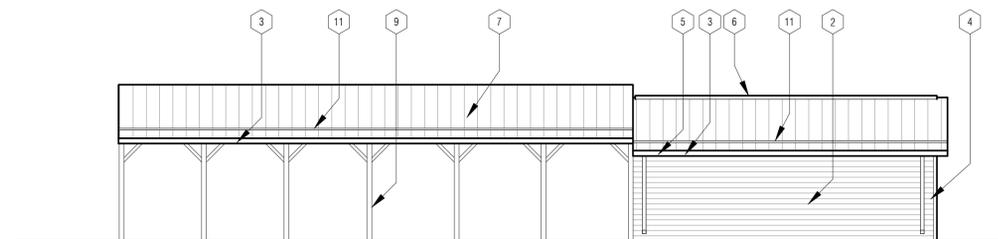
ELEVATION -  
 DEMOLITION &  
 NEW WORK

SHEET NO.

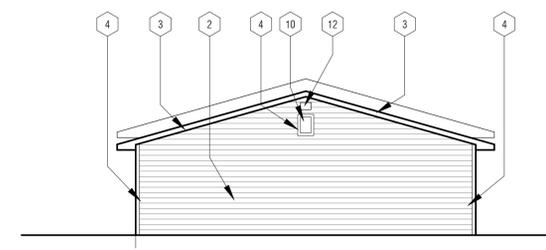
A4-01

**EXTERIOR ELEVATION NEW WORK KEY NOTES:**

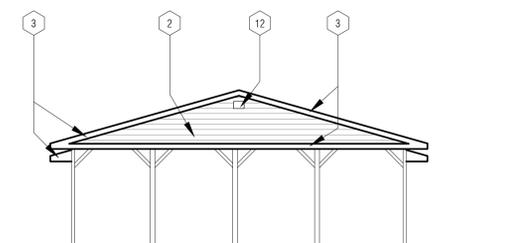
- 1 FRP DOOR AND HOLLOW METAL FRAME
- 2 6" HORIZ. LAP SIDING
- 3 METAL CLAD EAVE TRIM BOARDS
- 4 4" METAL CLAD VERTICAL TRIM BOARDS
- 5 PRE-FIN. METAL GUTTERS WITH DOWNSPOUTS
- 6 RIDGE VENT
- 7 METAL ROOF PANEL SYSTEM
- 8 DRINKING FOUNTAIN - SEE MECHANICAL
- 9 PAINT WOOD SUPPORT COLUMNS (TYP.)
- 10 NEW 16"x24" ATTIC VENT W/ INSECT SCREEN
- 11 CONTINUOUS SNOW GUARD
- 12 LIGHT FIXTURE - COORDINATE WITH ELECTRICAL



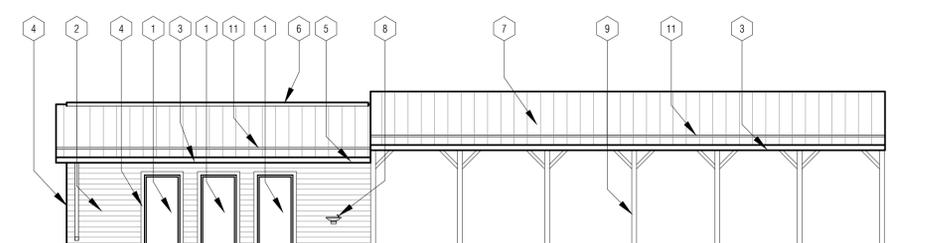
8 East Elevation - New Work  
 A3-01 1/8" = 1'-0"



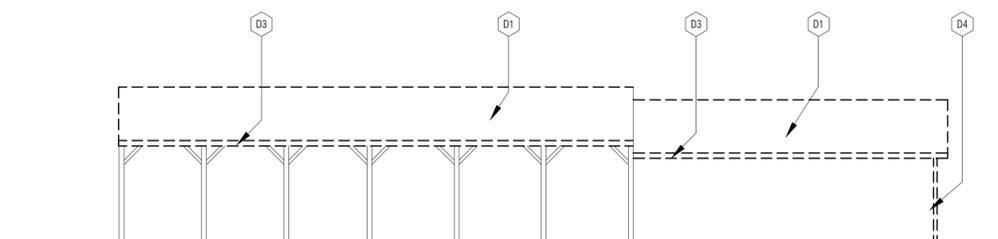
7 North Elevation - New Work  
 A3-01 1/8" = 1'-0"



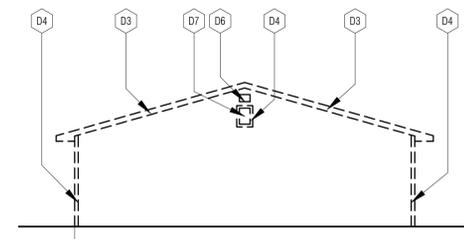
6 South Elevation - New Work  
 A3-01 1/8" = 1'-0"



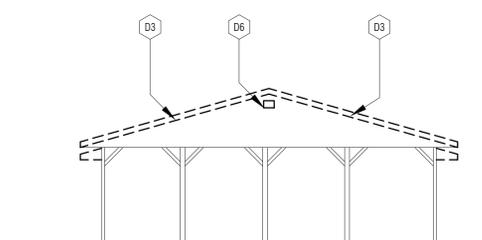
5 West Elevation - New Work  
 A3-01 1/8" = 1'-0"



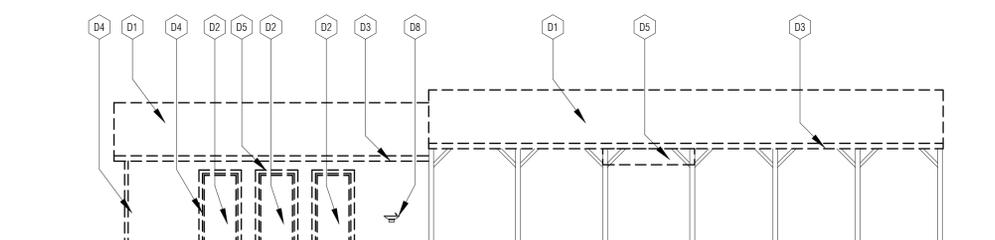
4 East Elevation - Demolition  
 A3-01 1/8" = 1'-0"



3 North Elevation - Demolition  
 A3-01 1/8" = 1'-0"



2 South Elevation - Demolition  
 A3-01 1/8" = 1'-0"



1 West Elevation - Demolition  
 A3-01 1/8" = 1'-0"

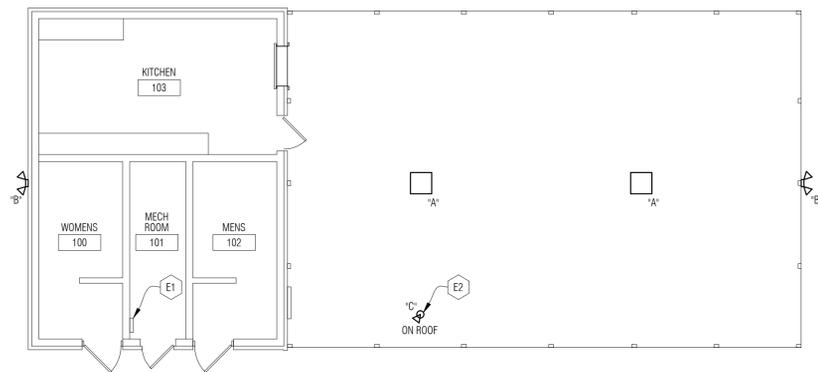
**EXTERIOR ELEVATION DEMOLITION KEY NOTES:**

- D1 REMOVE ASPHALT SHINGLES, TRIM ACCESSORIES AND BUILDING FELT DOWN TO EXISTING PLYWOOD SHEATHING
- D2 REMOVE HOLLOW METAL DOOR, FRAME AND ALL ASSOCIATED COMPONENTS
- D3 REMOVE 1x WOOD FASCIA
- D4 REMOVE 1x WOOD TRIM
- D5 REMOVE WOOD SIGN AND SALVAGE FOR REINSTALLATION - COORDINATE WITH NEW WORK
- D6 REMOVE LIGHT FIXTURE - COORDINATE WITH ELECTRICAL
- D7 REMOVE ATTIC VENT
- D8 REMOVE DRINKING FOUNTAIN - COORDINATE WITH MECHANICAL





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**E2** Electrical Floor Plan - New Work  
 ME3-01 1/8" = 1'-0"

**ELECTRICAL NEW WORK KEY NOTES:**

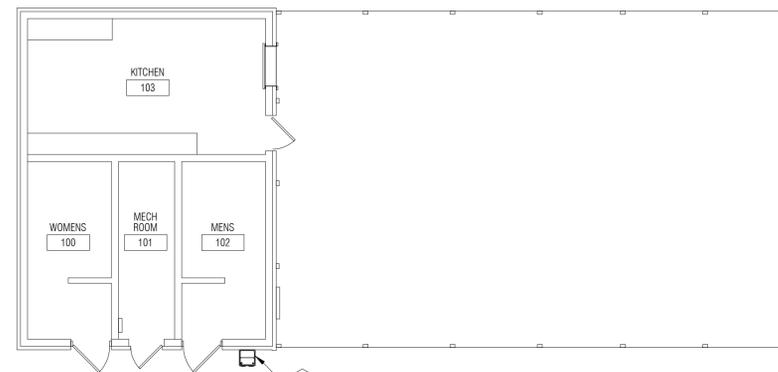
- E1 EXISTING ELECTRICAL PANEL
- E2 WIRE NEW ROOF LIGHT FIXTURE CONNECTION TO EXISTING SPARE CIRCUIT IN EXISTING ELECTRICAL PANEL

**LIGHTING FIXTURE SCHEDULE:**

- \*A SURFACE MOUNTED LED CANOPY LIGHTING FIXTURE; CAST ALUMINUM WITH BRONZE FINISH AND ACRYLIC LENS. LITHONIA # VRC LED 1 50K MVOLT OR APPROVED EQUAL
- \*B LED DUSK-TO-DAWN FLOODLIGHT WITH 2 ADJUSTABLE HEADS. CAST ALUMINUM WITH BRONZE FINISH AND CLEAR ACRYLIC LENSES. LITHONIA # DFLR 6LC 120 P BZ OR APPROVED EQUAL

**ELECTRICAL GENERAL NOTES:**

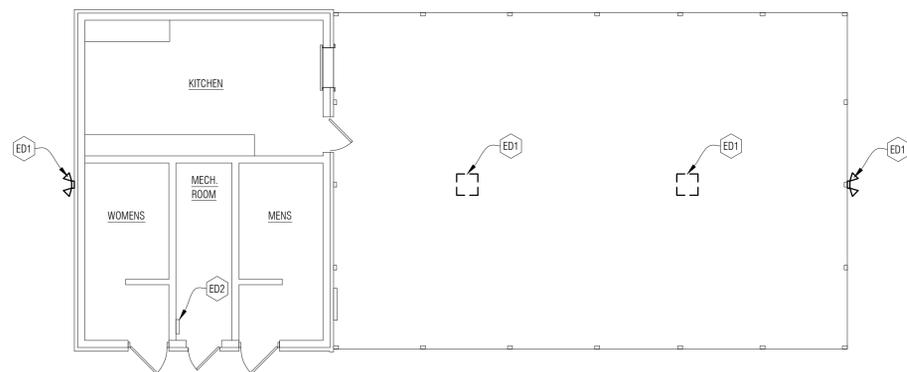
- A ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXACT AMP/PH/VOLT LOADS OF NEW LIGHTING FIXTURES



**M2** Mechanical Floor Plan - New Work  
 ME3-01 1/8" = 1'-0"

**MECHANICAL NEW WORK KEY NOTES:**

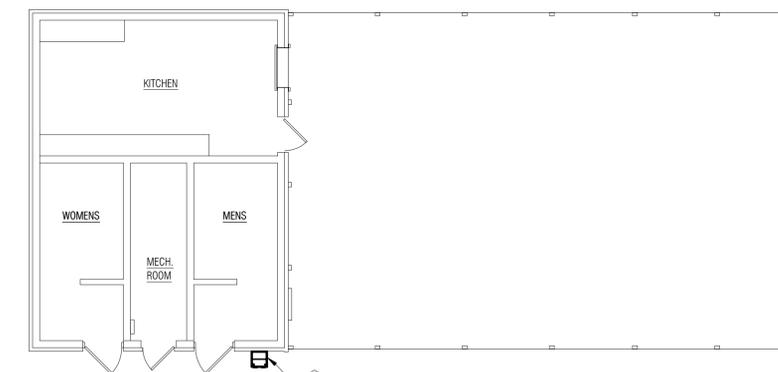
- M1 INSTALL NEW DRINKING FOUNTAIN AND REWORK EXISTING AS NEEDED TO ACCEPT NEW CONNECTION OF NEW FIXTURE.



**E1** Electrical Floor Plan - Demolition  
 ME3-01 1/8" = 1'-0"

**ELECTRICAL DEMOLITION KEY NOTES:**

- ED1 DISCONNECT AND REMOVE EXISTING LIGHT FIXTURE AND REPLACE WITH NEW AS INDICATED ON PLAN
- ED2 EXISTING ELECTRICAL PANEL



**M1** Mechanical Floor Plan - Demolition  
 ME3-01 1/8" = 1'-0"

**MECHANICAL DEMOLITION KEY NOTES:**

- MD1 DISCONNECT AND REMOVE EXISTING DRINKING FOUNTAIN AND REPLACE WITH NEW AS INDICATED ON PLAN